

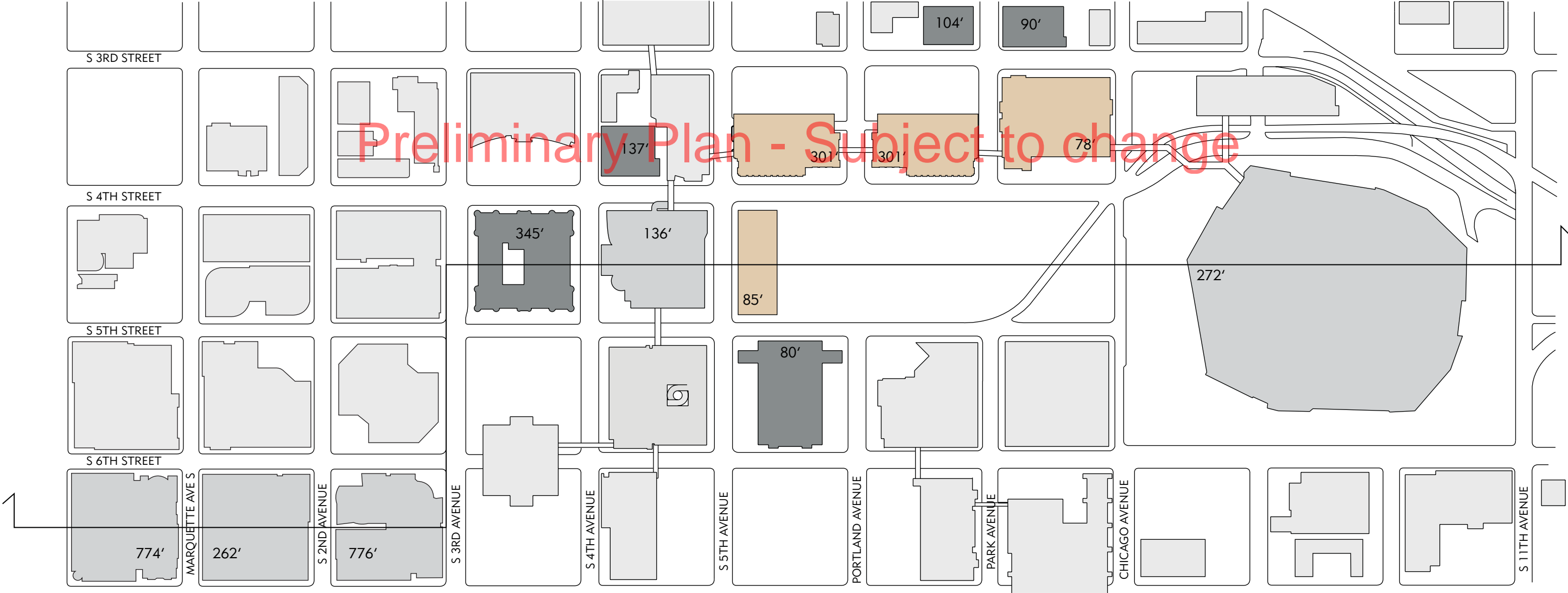
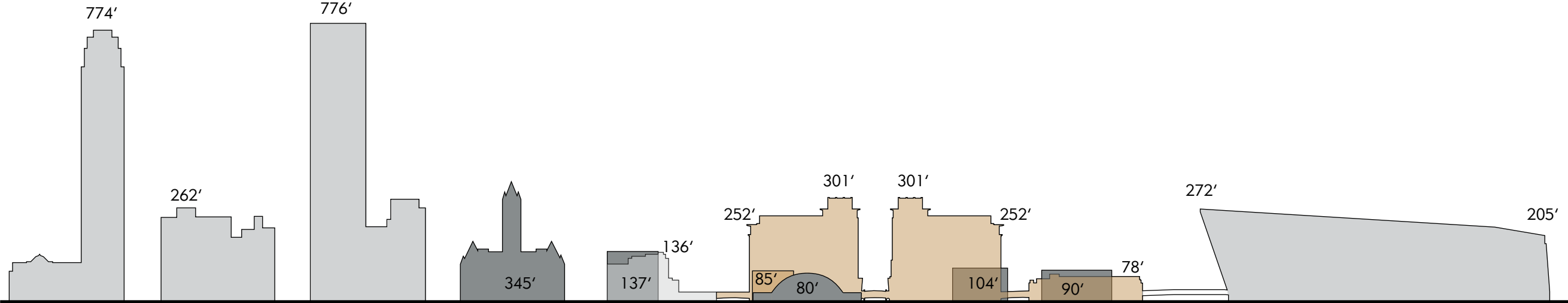
DOWNTOWN EAST

10.17.2013 - City of Minneapolis Committee of the Whole

Preliminary Plan - Subject to change

Preliminary Plan - Subject to change





Preliminary Plan - Subject to change

Preliminary Plan - Subject to change



A nighttime photograph of a city skyline. In the foreground, a large green park area is visible, with a large screen displaying a movie. The screen shows a scene with several people. The park is surrounded by trees and walkways. In the background, several tall buildings are lit up, and a prominent church steeple is visible. The sky is a mix of purple and blue.

BLOCK 75 - PARK RESIDENTIAL

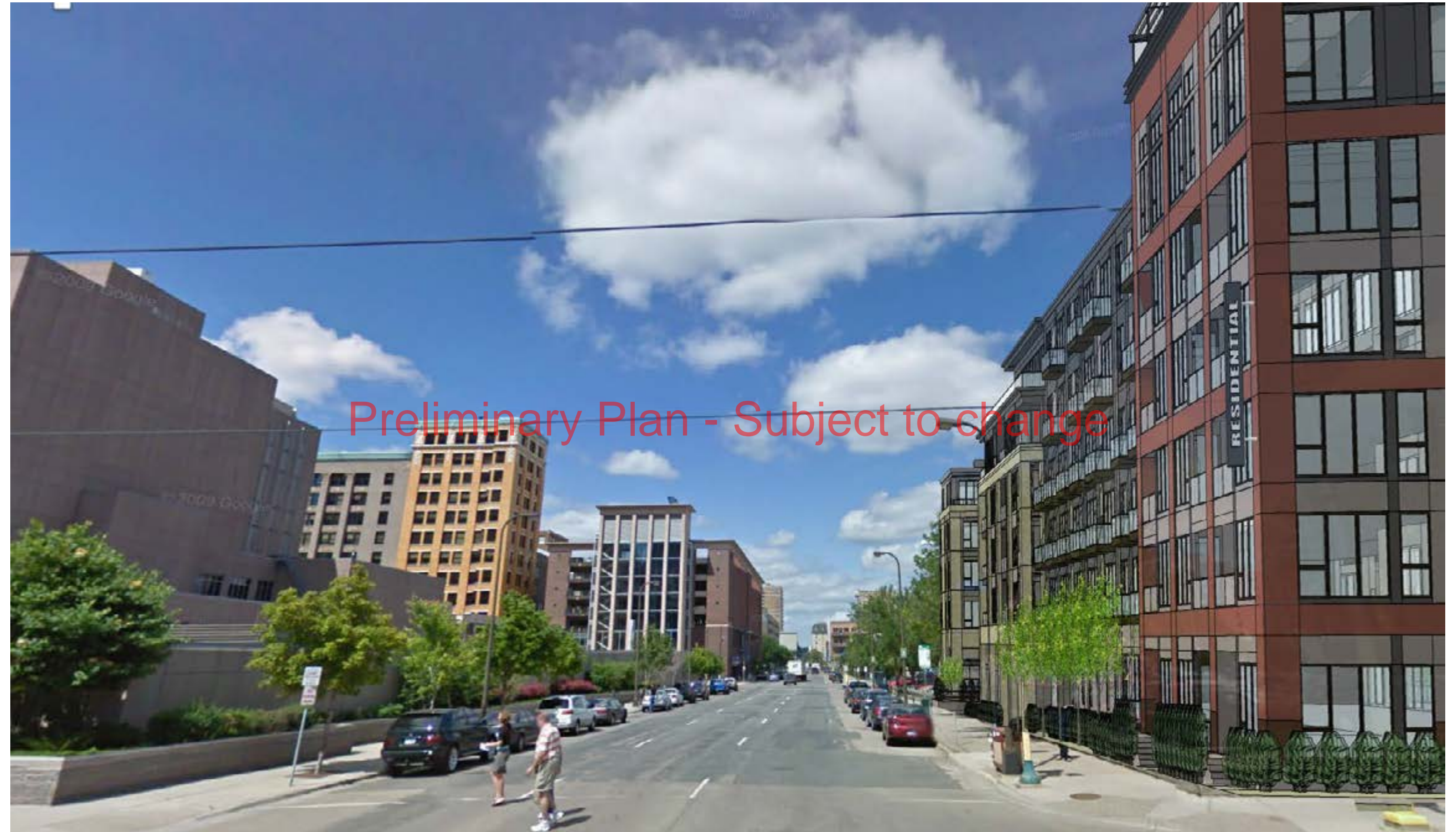
Preliminary Plan - Subject to change





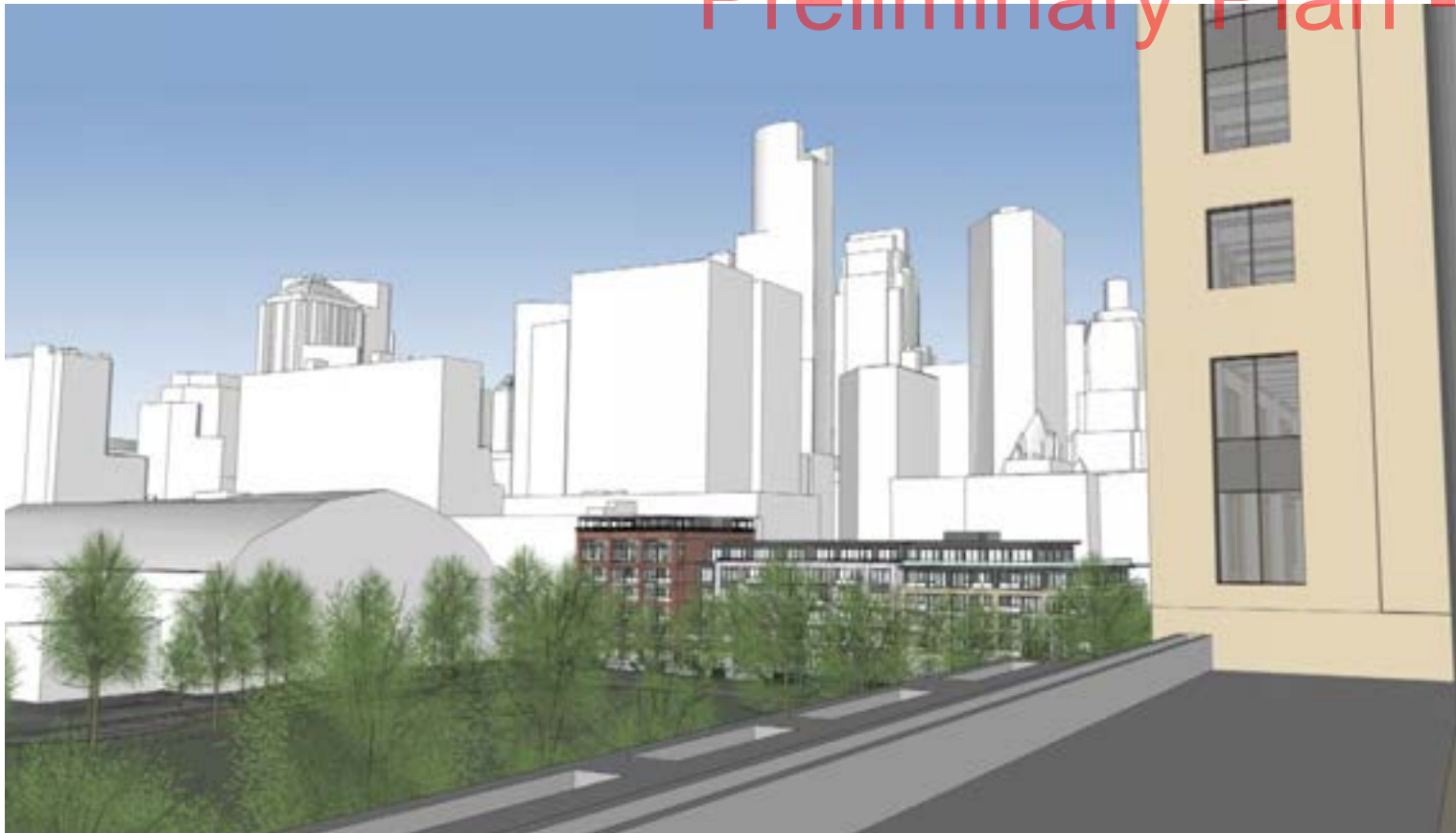
Preliminary Plan - Subject to change

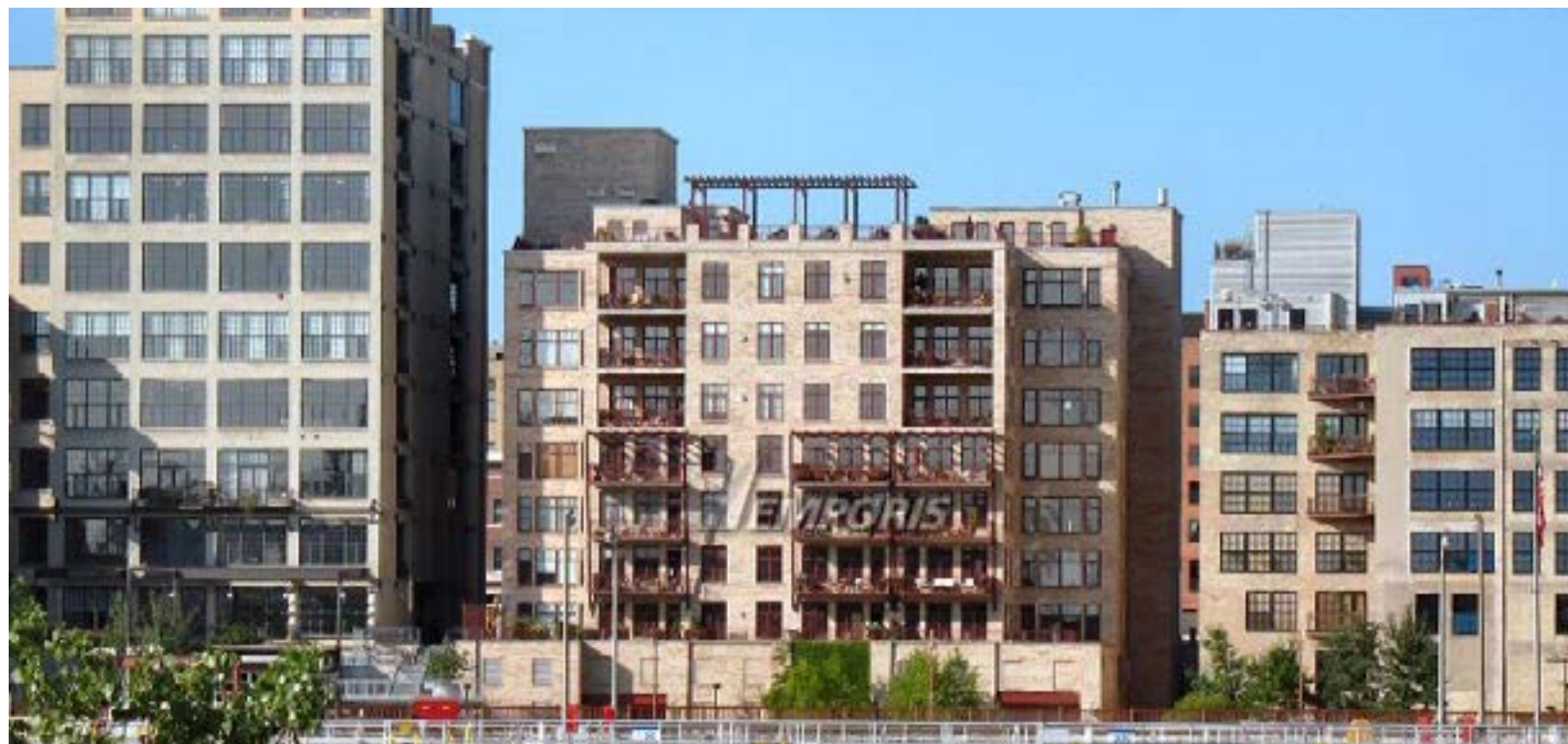
Preliminary Plan - Subject to change





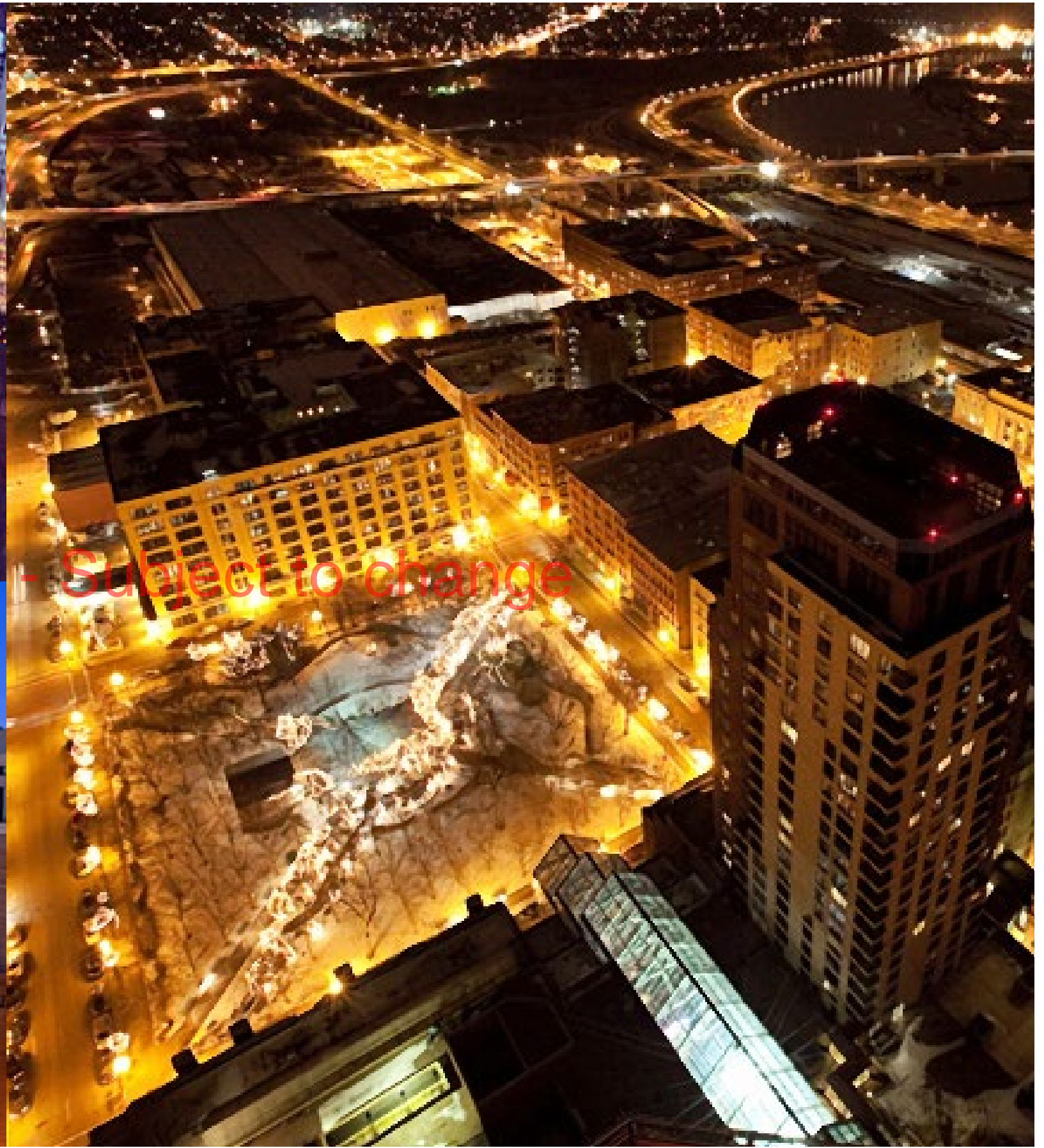
Preliminary Plan - Subject to change





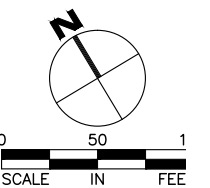
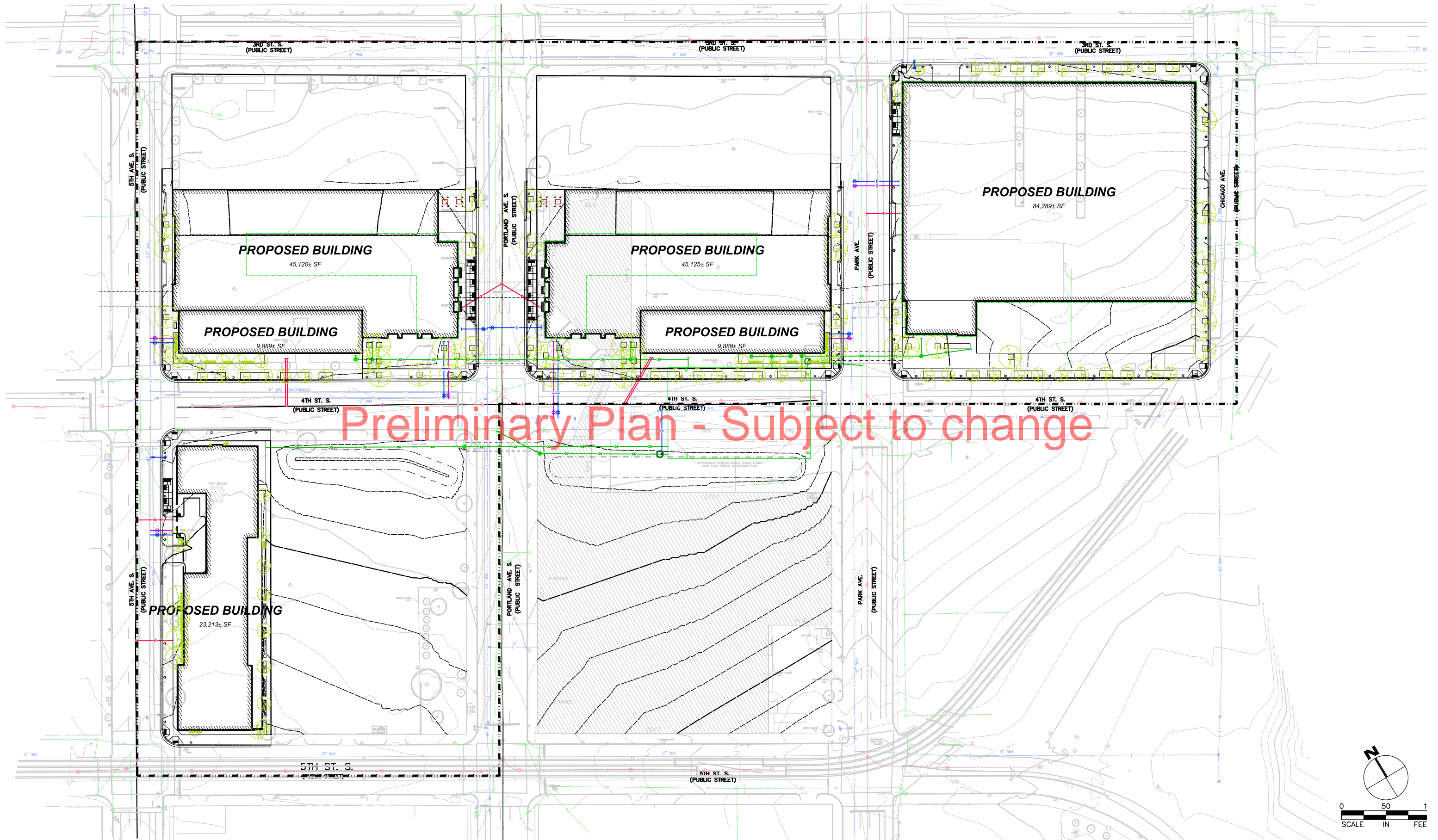
Preliminary Plan - Subject to change





Preliminary Plan - Subject to change





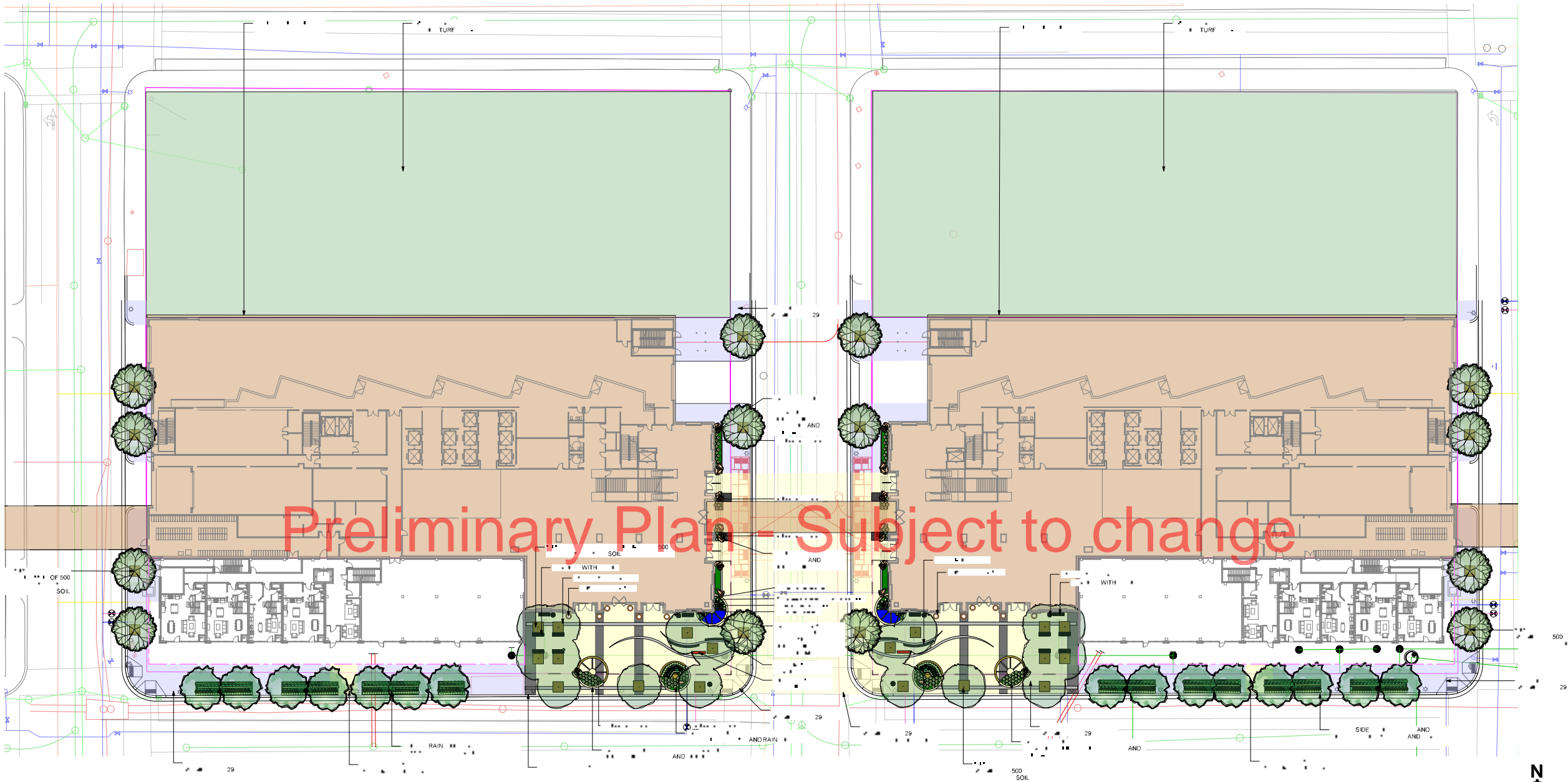
Planned Unit Development Application
Proposed Authorized Alternative Amenities

Below is a breakdown of the alternative amenities we are proposing to offset the increased signage request and for block 69 building height.

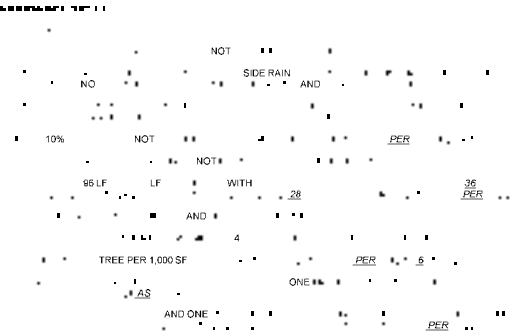
- **(5 Points) LEED** – Our project is attempting LEED Silver rating or above.
Ten points are available; however we are only going for a LEED designation for the two tower buildings not the residential or the ramp. We are attempting LEED Platinum for the two towers.
- **(5 Points) Outdoor Open Space** –
We are showing approximately 73,000 sf of open space on block 75. Total area not covered by site is approximately 210,000 x 30% = 63,000
- **(3 Points) Energy Efficiency** –
The towers have a goal of 40% reduction in energy beyond 2007 ASHRAE 90.1.
- **(1 Points) Living Wall System** –
Block 70 ramp plans to have 60% of the façade to be covered with greenscreen walls that have climbing vine mixtures.
- **(3 Points) Shared Vehicles** –
Access to a shared passenger automobile
- **(1 Point) Enhanced Landscaping**
We will be designing a landscape plan that has seasonal interest with resource efficient irrigation system by a licensed landscape architect.
Enhanced Landscaping includes street trees, annual planters, raised planting with native and adaptive plantings, and a resource efficient irrigation system.
- **(1 Point) – Enhanced Stormwater Management -**
The current plan calls for rain gardens in the R.O.W. to help with stormwater management. There will also be no potable water for irrigation.
- **(1Point) – Recycling Storage Area**
- **(3 Points) Plaza** –
We are currently showing approximately 13,768 sf of plaza space at the entrance to the towers. 10% of the PUD site area is equal to 21,065.The plaza includes:
 - o Benches
Block68/69 - 96 LF with 20LF of benches with backs. Two different types per block.
Block 70 – 83 LF with 17 LF of benches with backs.
 - o Surface materials that are durable and decorative
 - o Unobstructed walkways that are a minimum of 4 feet wide
 - o Trees
Block 68/69 - Six trees per plaza
Block 70 – Four trees in plaza
 - o One water feature per block
 - o Receptacles
Block 68/69 - Three trash and recycling receptacles
Block 70 – Two trash and recycling receptacles

Total = 23 Points

Preliminary Plan - Subject to change

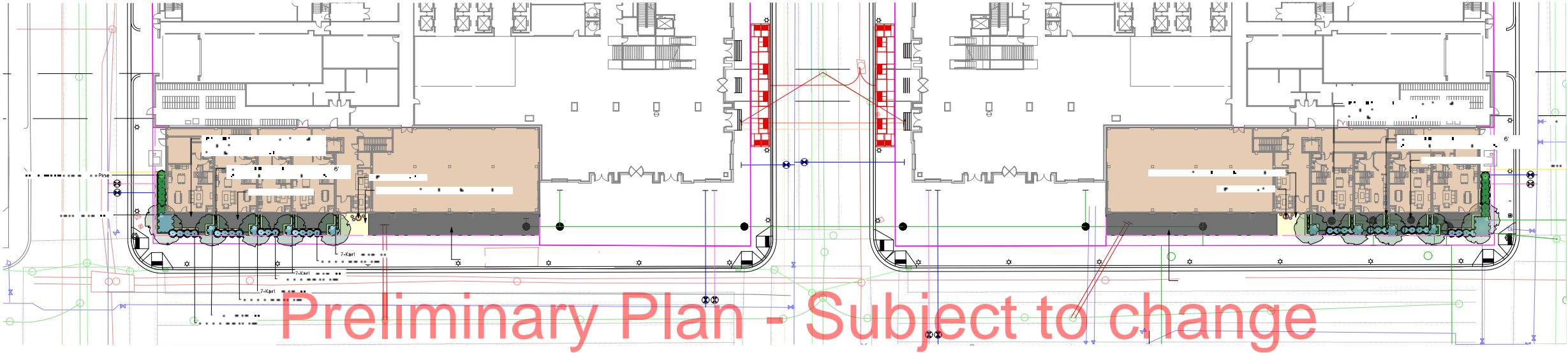


PLANT LIST 1. 68 2-4-11			
Plant	Quantity	Notes	Quantity
Trees			
1. Oak	1		1
2. Oak	1		1
3. Oak	1		1
4. Oak	1		1
5. Oak	1		1
6. Oak	1		1
7. Oak	1		1
8. Oak	1		1
9. Oak	1		1
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98. Oak	1		1
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100. Oak	1		1
Total			



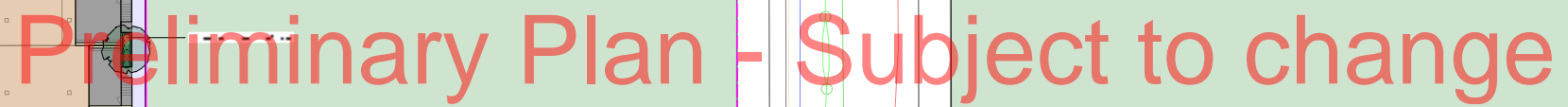
PLANT LIST 1. 68 2-4-11			
Plant	Quantity	Notes	Quantity
Trees			
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93. Oak	1		1
94. Oak	1		1
95. Oak	1		1
96. Oak	1		1
97. Oak	1		1
98. Oak	1		1
99. Oak	1		1
100. Oak	1		1
Total			










PLANT LIST - Blocks 68 & 69 Residential			
Plant Name	Quantity	Notes	Plant Type
Trees			
American Elm	1	Plant in front of building	B&B
Red Pine	1	Plant in front of building	B&B
Thuja	1	Plant in front of building	GAL
Shrubs			
Kentia Palm	1	Plant in front of building	G&G
Boxwood	1	Plant in front of building	G&G
Yucca	1	Plant in front of building	G&G
Hosta	1	Plant in front of building	G&G
Salvia	1	Plant in front of building	G&G
Total			





	PLANT LIST	68 & 69		
	Trees			
	Amor		0	68
				
			0	68
				
				
	</			





Specific Standards for Signs in the Downtown Districts:

(Minneapolis Code Table 543-3)

- 2.5 S.F. of signage per 1 ft of primary building wall.
- Minimum of 30 S.F. guaranteed for each ground floor nonresidential use with portion of wall
- Maximum area per sign: 120 SF
- Maximum height above ground: 28'

Wall Signs Conditional Use Permit:

(Minneapolis Code Section 543.470b)

Allows up to 2 additional signs for buildings above 84 feet / 6 stories, subject to following:

- Must be individual letters or elements permanently affixed to wall
- Shall not exceed 3 SF of sign area for each foot of building wall or 300 SF, whichever is less
- No more than 1 sign per wall
- Vertical dimension of sign shall not exceed 14 feet

Specific Standards for Signs in the Downtown Districts:

(Minneapolis Code Table 543-3)

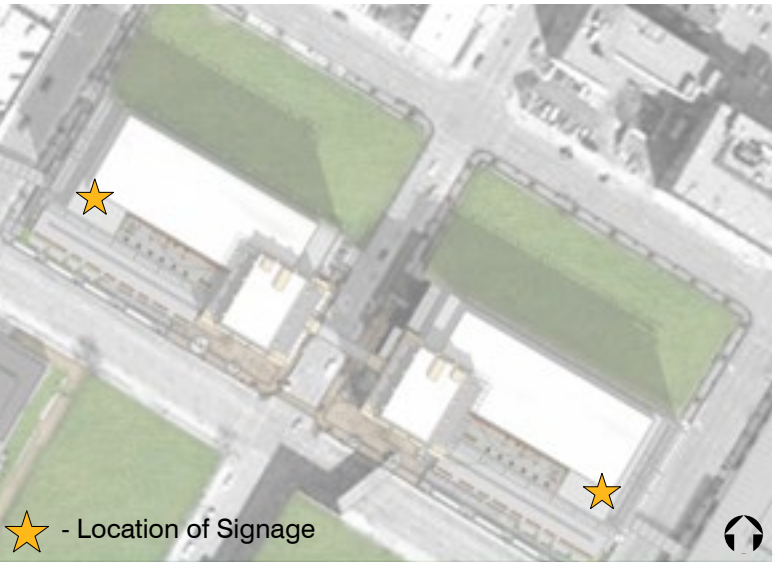
- 2.5 S.F. of signage per 1 ft of primary building wall.
- Maximum area per projecting sign: 48 SF
- Maximum area per sign: 120 SF
- Maximum height above ground: 28'

$105' \times 2.5 \text{ SF} = 262.5 \text{ SF}$ maximum signage on south facades

South Facades = 75 SF + 300 SF Wall Sign
as currently shown

Street level signage to be further defined at a later date

- All Lettersets to be internally illuminated yellow with red halo.
- All Banners will incorporate architectural lighting.





Enlarged Southwest Elevations - 1/32":1'

3 Signs, 25 SF Each

- Specific Standards for Signs in the Downtown Districts:**
(Minneapolis Code Table 543-3)
- 2.5 S.F. of signage per 1 ft of primary building wall.
 - Maximum area per projecting sign: 48 SFt
 - Maximum area per sign: 120 SF
 - Maximum height above ground: 28'

105' x 2.5 SF = 262.5 SF maximum signage on south facades
South Facades = 75 SF as currently shown

- Street level signage to be further defined at a later date**
- All Lettersets to be internally illuminated yellow with red halo.
 - All Banners will incorporate architectural lighting.





Specific Standards for Signs in the Downtown Districts:
(Minneapolis Code Table 543-3)

- 2.5 S.F. of signage per 1 ft of primary building wall.
- Minimum of 30 S.F. guaranteed for each ground floor nonresidential use with portion of wall
- Maximum area per sign: 120 SF
- Maximum height above ground: 28'

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(Minneapolis Code Section 543.470b)

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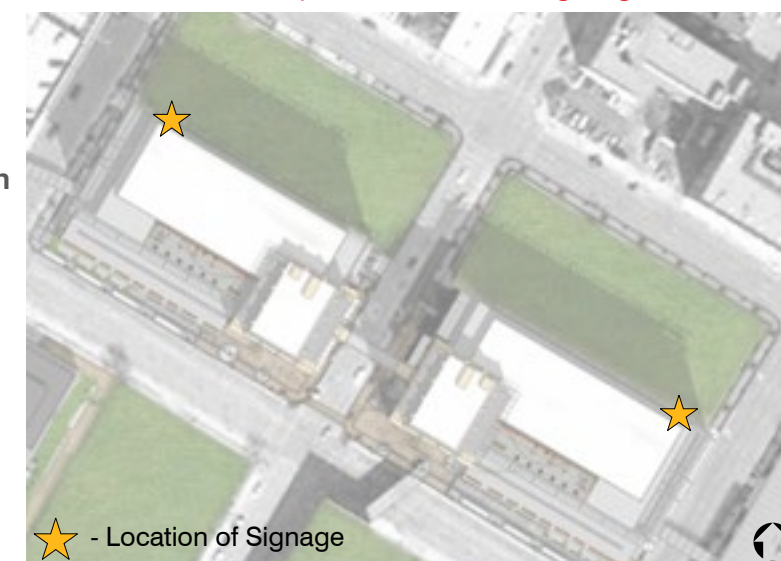
Specific Standards for Signs in the Downtown Districts:
(Minneapolis Code Table 543-3)

- 2.5 S.F. of signage per 1 ft of primary building wall.
- Maximum area per projecting sign: 48 SF
- Maximum area per sign: 120 SF
- Maximum height above ground: 28'

North Facades = 300 SF Wall Sign as currently shown

Street level signage to be further defined at a later date

- All Lettersets to be internally illuminated yellow with red halo.
- All Banners will incorporate architectural lighting.



Street level signage to be further defined at a later date

- All Lettersets to be internally illuminated yellow with red halo illumination.
- All Banners will incorporate architectural lighting.



Close-Up View of Proposed Signage - 1/16":1'

25 SF Each

Specific Standards for Signs in the Downtown Districts:

(Minneapolis Code Table 543-3)

- 2.5 S.F. of signage per 1 ft of primary building wall.
- Maximum area per projecting sign: 48 SF
- Maximum area per sign: 120 SF
- Maximum height above ground: 28'

165' x 2.5 SF = 412.5 SF maximum
signage on east (68) and west (69) facades

**East (68) / West (69) Facade = 75 SF as
currently
shown**



★ - Location of Signage



Preliminary Plan - Subject to change

Southeast Elevation (Block 68)
Northwest Elevation (Block 69)
Scale: 1/32"=1'



Preliminary Plan - Subject to change



Close-Up View of Proposed Signage - 1/16"=1'

10 SF 50 SF

Specific Standards for Signs in the Downtown Districts:
(Minneapolis Code Table 543-3)

- 2.5 S.F. of signage per 1 ft of primary building wall.
- Maximum area per projecting sign: 48 SF
- Maximum area per sign: 120 SF
- Maximum height above ground: 28'

135' x 2.5 SF = 338 SF maximum
signage on west (68) and east (69) facades

West (68) / East (69) Facade = 60 SF
as currently
shown

SEE FOLLOWING
SHEETS FOR
RESIDENTIAL
SIGNAGE

(SKYWAY)

Northwest Elevation (Block 68)
Southeast Elevation (Block 69)
Scale: 1/32"=1'

Street level signage to be further defined at a later date



Yellow dot - Location of Signage



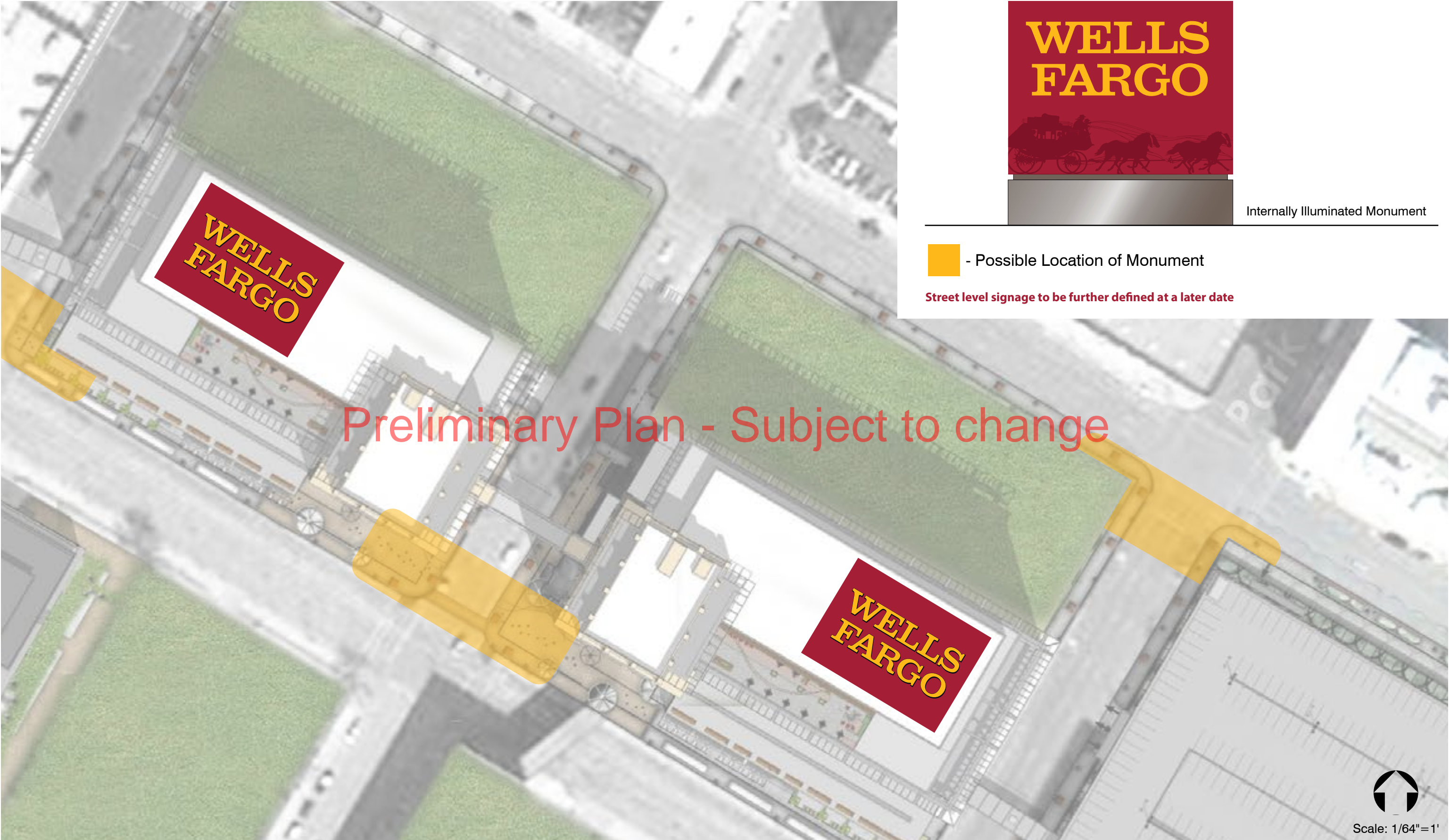
**WELLS
FARGO**

Custom Roof Sign (Qty. 2)
Painted Roof Sign, Custom

Street level signage to be further defined at a later date



Scale: 1/64"=1'



Internally Illuminated Monument

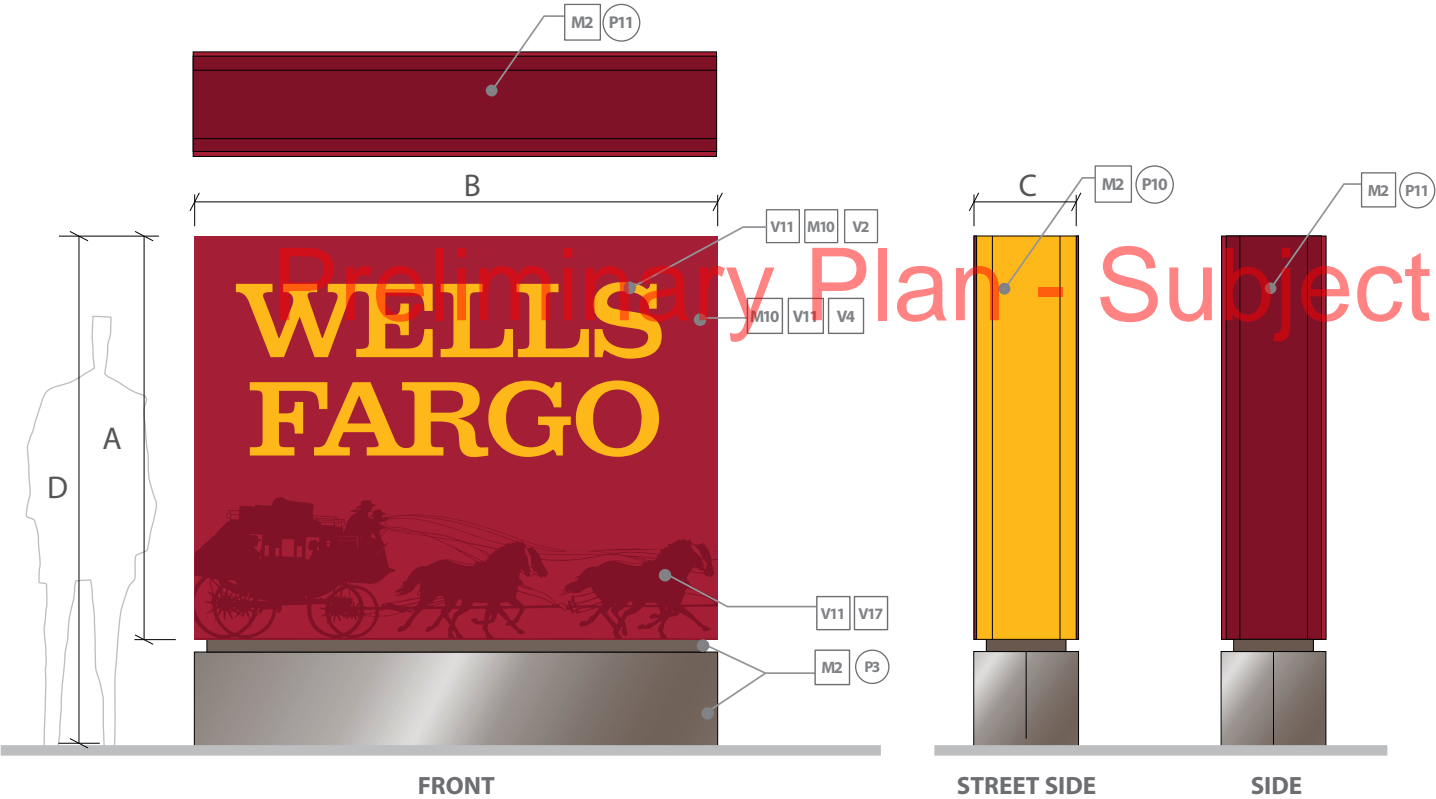
 - Possible Location of Monument

Street level signage to be further defined at a later date



Scale: 1/64"=1'

Description: Fabricated .090 aluminum sign cabinet with retainer-less clear matte finish polycarbonate faces. Illuminated with fluorescent lamps. Graphics to be applied vinyl.



Color Legend		
P1	Red w/Clearcoat, Semi-Gloss Matthews Paint MP 65837 R9666	Channel Letter Returns
P2	Black w/Clearcoat, Full Gloss Matthews Paint MP 30132 Jet Black	High Rise Channel Letter Returns and Channel Letter Aluminum Trim Caps
P3	Light Bronze w/Clearcoat, Semi-Gloss Matthews Paint MP 20090	Pylon Column Cladding, Monument Sign Base, Directional Sign Base
P4	White w/Clearcoat, Semi-Gloss Matthews Paint MP 1147	Welcome Sign
P5	Warm Gray w/Clearcoat, Semi-Gloss Matthews Paint MP 20148	Background/Panel: Directional Sign, Informational Sign
P6	Opaque Warm Gray, 3M 9800 UV Ink to Match PMS Warm Gray 11	Copy on Window Bands, Copy on Door Bands
P7	Opaque Yellow, 3M 9800 UV Ink to Match PMS 1235w/3M 9720i UV Clearcoat	Vinyl Material (WF Logo Square), Awning Copy (ATM)
P8	Opaque Red, 3M 9800 UV Ink to Match Toyo CF 10065 w/3M 9720i UV Clearcoat	Vinyl Material (WF Logo Square)
P9	Opaque White, 3M 9800 UV White	Awning Copy

*P6 - P9 are Screen Ink

Materials Legend		
M1	Maxx-Brite	Channel Letter Returns
M2	Aluminum	Channel Letter Returns, Staging Panels, Wall Sign Panels, Post Tubing, Directional/Regulatory Faces, Door ID Plaque
M3	Jewelrite Black	Channel Letter Trim Caps
M4	Aluminum Retainers	Channel Letter Trim Caps
M5	Acrylic Yellow Translucent	Option 1: Evonik 1H15 Option 2: Aristek (TBD)
M6	Alpolic ACM #WRY Wells Fargo Red, 4mm PE Core	Red Box Faces, Staging Panels, Logo "Squares"/Panels
M7	Alpolic ACM Faces/End Surfaces #RVW Sheet, White, 4mm PE Core	Discontinued, No Longer in Use
M8	½" Clear Acrylic Modified High Impact	Pushed-Thru Lettering on Red Box
M9	0.1875" Clear Acrylic Modified High Impact	Discontinued, No Longer in Use
M10	Acrylic/Polycarbonate Acrylite GP P-95, Matte	Sign Face Replacement
M11	Solution Dyed Acrylic Marine Cloth Sunbrella 6003-0000 Jockey Red	Awning Material
M12	0.177" & 0.1875" Clear Acrylic	Channel Letter Faces

Vinyl Legend		
V1	Translucent Black 3M 3630-22	Drop Shadow Channel Letters
V2	Translucent Yellow 3M Scotchcal 3630-4039	Sign Face Replacement Letters Face of Channel Letters
V3	Reflective Yellow 3M Scotchlite 3971G	Bang Bar
V4	Translucent Red 3M Scotchcal 3630-2280	ATM Canopy
V5	Opaque Red 3M VEB-1441	Sign Face Replacements
V6	Opaque Yellow 3M VEB-14450	Vinyl Letters on Red Staging Panel, Clearance Bar Stripes
V7	Opaque Dark Gray 3M Scotchcal 7725-41	Copy
V8	Opaque White Clear Adhesive 3M 7725-10	Door Graphics, Window Bands Door Decal Copy
V9	Reflective Blue 3M 7725-10	ADA Symbol Background on Exterior Informational Signs
V10	Clear Film 3M 180-114	Screen Printed Logo Square
V11	White Diffuser Film, 70% 3M 7725-10	Sign Face Replacements, Channel Letters
V12	White Barrier Film 3M FP032302	Discontinued, No Longer in Use
V13	Opaque White Gray Adhesive 3M 180-10	Kiss Cut Letters for Directional Signs and Door Graphics, Parking Garage Sign
V14	Opaque Black 3M 7725-12	Drop Shadow for Vinyl Letters on Staging Panel, Parking Sign, Cables
V15	Opaque Blue 3M 7725-47 Intense Blue	ADA Symbol Background for Glass Entry Doors and Sidelights
V16	Reflective Red 3M 680-72	Regulatory Graphic Background on Exterior Vehicular Signs

Urban Flagship Store

FOR REFERENCE ONLY - STREET LEVEL SIGNAGE TO BE FURTHER DEFINED AT A LATER DATE

Urban flagship stores for Wells Fargo are characterized by high visibility and high profile sites in major cities. These high visibility sites usually face streets with a significant amount of pedestrian and vehicular traffic. As such, Wells Fargo desires optimum brand expression at these locations.

A Wells Fargo urban flagship store can have a combination of any of the brand components shown at right.



1 Reins and Road (internally illuminated)

WELLS FARGO

2a Channel Letters (halo and facelit)

WELLS FARGO

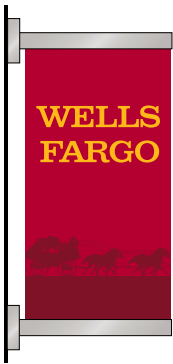
2b Channel Letters on Staging Panel (halo and facelit)



3 ATM Gold Tone-on-Tone Wall (internally illuminated)

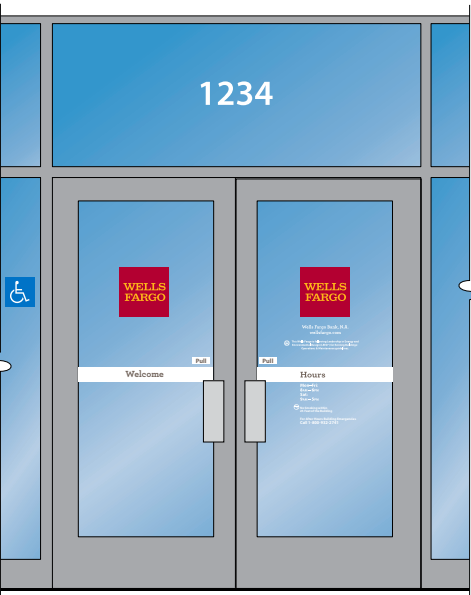


4 Window Box Sign (internally illuminated, interior application)



5 Exterior Perpendicular Mount Banner

Preliminary Plan - Subject to change



6 Door Decals



WELLS FARGO

7 Entry Canopy



8 Acquisition Window Message

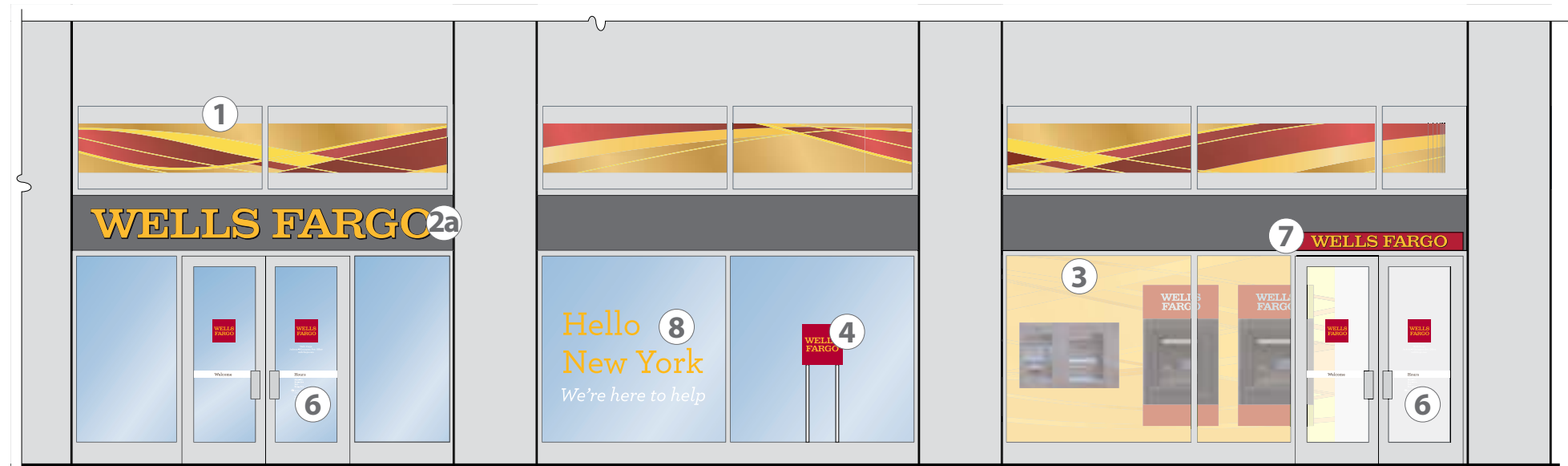


9 Digital Window Display

Urban Flagship Store

FOR REFERENCE ONLY - STREET LEVEL SIGNAGE TO BE FURTHER DEFINED AT A LATER DATE

The Wells Fargo urban flagship store kit of brand components is comprised of carefully orchestrated signs to assist customers in finding the store and for providing brand presence. All signs are not necessarily used at all locations, but they usually utilize an internally illuminated reins and road sign (ceiling mounted on the inside of the glass) and an internally illuminated ATM gold tone-on-tone wall. Other brand components are placed for optimum visibility.



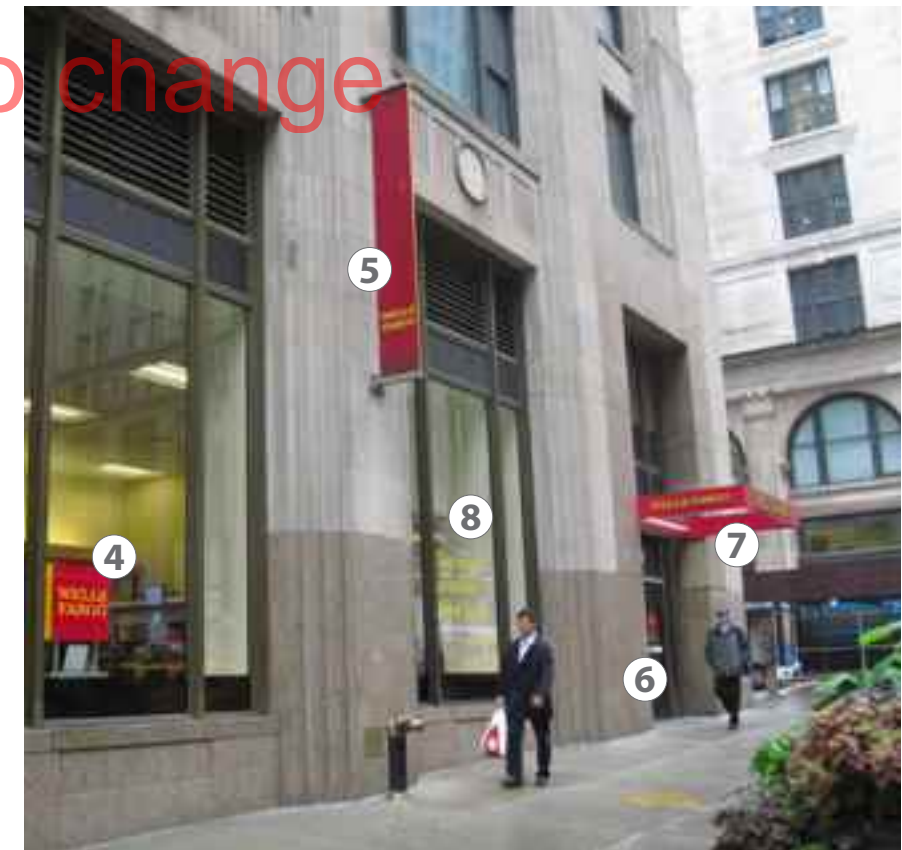
Front Elevation

Examples of how these components are utilized are shown at right.

Shown:

- ① Reins and Road (internally illuminated)
- ②a Channel Letters (halo and facelit)
- ③ ATM Gold Tone-on-Tone Wall (internally illuminated)
- ④ Window Box Sign (internally illuminated, interior application)
- ⑤ External Perpendicular Mount Banner
- ⑥ Door Decals
- ⑦ Entry Canopy
- ⑧ Acquisition Window Message

Preliminary Plan - Subject to change





Specific Standards for Signs in the Downtown Districts:

(Minneapolis Code Table 543-3)

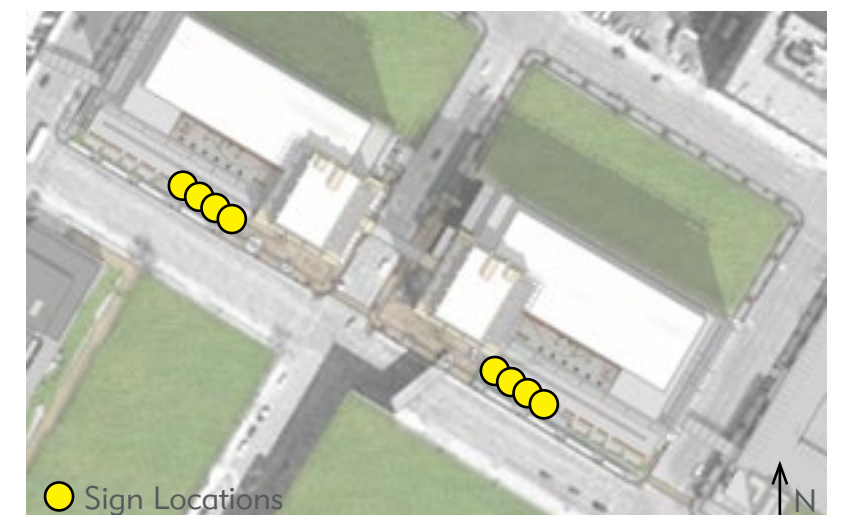
- 2.5 S.F. of signage per 1 ft of primary building wall.
- Maximum area per projecting sign: 48 SF
- Maximum area per sign: 120 SF
- Maximum height above ground: 28'

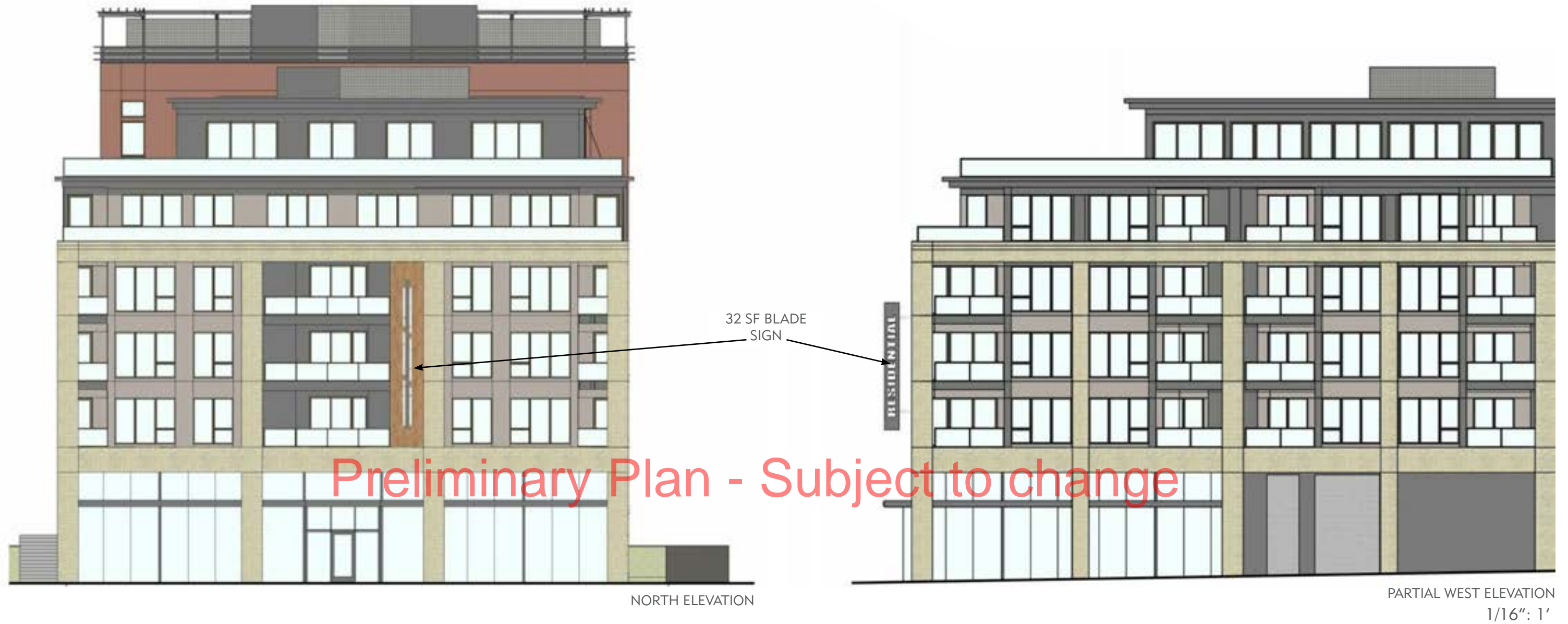
206' x 2.5 SF = 515 SF maximum signage on south facade

South Facade = 325 SF as currently shown

20' x 2.5 SF = 50 SF maximum signage on west facade

West Facade = 58 SF as currently shown





Specific Standards for Signs in the Downtown Districts:
(Minneapolis Code Table 543-3)

- 2.5 S.F. of signage per 1 ft of primary building wall.
- Maximum area per projecting sign: 48 SF
- Maximum area per sign: 120 SF
- Maximum height above ground: 28'

90' x 2.5 SF = 225 SF maximum signage on north facade

North Facade = 32 SF as currently shown





Specific Standards for Signs in the Downtown Districts:
(Minneapolis Code Table 543-3)

- 2.5 S.F. of signage per 1 ft of primary building wall.
- Maximum area per projecting sign: 48 SF
- Maximum area per sign: 120 SF
- Maximum height above ground: 28'

330' x 2.5 SF = 825 SF maximum signage on west facade

West Facade = 50 SF as currently shown

85' x 2.5 SF = 212.5 SF maximum signage on south facade

South Facade = 50 SF as currently shown



DOWNTOWN EAST
PARK RESIDENTIAL BUILDING - NORTH AND EAST ELEVATIONS



CLADDING MATERIALS MATERIALS		
ID	MASTER FORMAT 04	DESCRIPTION
ALUM - 1	00 00 00	ALUMINUM TRELLIS 1
ALUM - 3	00 00 00	ALUMINUM GUARDRAIL
ASFS - 1	00 00 00	ALUMINUM STOREFRONT SYSTEM 1
ASFS - 2	00 00 00	ALUMINUM STOREFRONT SYSTEM 2
BRICK - 1	04 20 19	BRICK 1
BRICK - 2	04 20 19	BRICK 2
BRICK - 3	04 20 19	BRICK 3
CSTN - 1	00 00 00	CAST STONE 1
CSTN - 2	00 00 00	CAST STONE 2
CSTN - 3	00 00 00	CAST STONE 3
FGW - 1	00 00 00	FIBERGLASS
FGW - 2	00 00 00	FIBERGLASS DOORS
HPL - 1	04 20 19	HIGH PRESSURE LAMINATE
LOUVER - 1	00 00 00	LOUVER 1
MP - 2	00 00 00	METAL PANEL 2
MP - 3	00 00 00	METAL PANEL 3
MP - 4	00 00 00	METAL CORNICE
MP - 5	00 00 00	METAL PANEL 5
MP - 6	00 00 00	METAL PANEL 6
MP - 7	00 00 00	METAL PANEL 7
RAIL - 2	00 00 00	GUARDRAIL 2 - FLOOR BASED
RAIL - 3	00 00 00	GUARDRAIL 3 - FLOOR BASED
SIDING - 1	00 00 00	FIBERCEMENT BOARD 1
SIDING - 2	00 00 00	SIDING 2
SIGN - 1	04 20 19	SIGN 1
STONE - 3	00 00 00	STONE 3
STONE - 1	00 00 00	STONE 2
STONE - 3	00 00 00	STONE 3



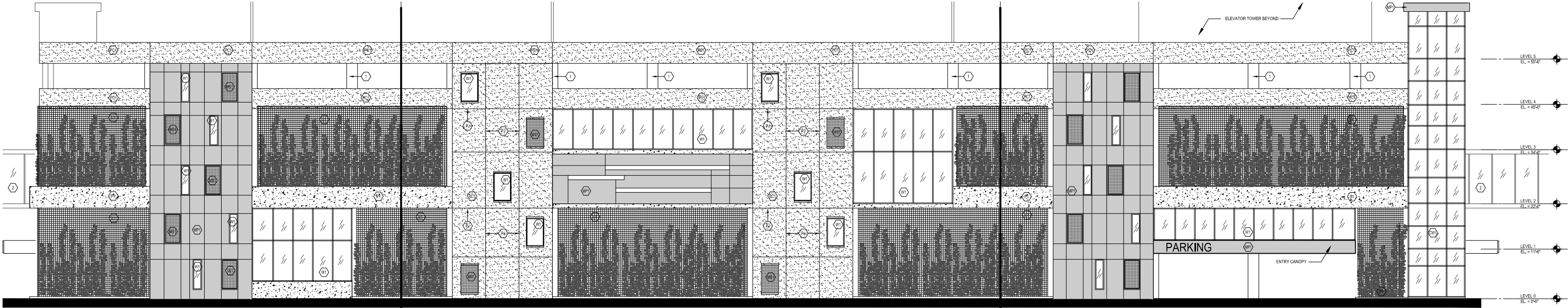
PRELIMINARY - NOT FOR CONSTRUCTION



EXTERIOR ELEVATIONS MATERIAL KEYNOTES		
ID	MASTER FORMAT 04	DESCRIPTION
ALUM - 1	00 00 00	ALUMINUM TRELLIS 1
ALUM - 3	00 00 00	ALUMINUM GUARDRAIL
ASFS - 1	00 00 00	ALUMINUM STOREFRONT SYSTEM 1
ASFS - 2	00 00 00	ALUMINUM STOREFRONT SYSTEM 2
BRICK - 1	04 20 19	BRICK 1
BRICK - 2	04 20 19	BRICK 2
BRICK - 3	04 20 19	BRICK 3
CSTN - 1	00 00 00	CAST STONE 1
CSTN - 2	00 00 00	CAST STONE 2
CSTN - 3	00 00 00	CAST STONE 3
FGW - 1	00 00 00	FIBERGLASS
FGW - 2	00 00 00	FIBERGLASS DOORS
HPL - 1	04 20 19	HIGH PRESSURE LAMINATE
LOUVER - 1	00 00 00	LOUVER 1
MP - 2	00 00 00	METAL PANEL 2
MP - 3	00 00 00	METAL PANEL 3
MP - 4	00 00 00	METAL CORNICE
MP - 5	00 00 00	METAL PANEL 5
MP - 6	00 00 00	METAL PANEL 6
MP - 7	00 00 00	METAL PANEL 7
RAIL - 2	00 00 00	GUARDRAIL 2 - FLOOR BASED
RAIL - 3	00 00 00	GUARDRAIL 3 - FLOOR BASED
SIDING - 1	00 00 00	FIBERCEMENT BOARD 1
SIDING - 2	00 00 00	SIDING 2
SIGN - 1	04 20 19	SIGN 1
STONE - 3	00 00 00	STONE 3
STONE - 1	00 00 00	STONE 2
STONE - 3	00 00 00	STONE 3



PRELIMINARY - NOT FOR CONSTRUCTION



1 NORTH ELEVATION
1/8" = 1'-0"

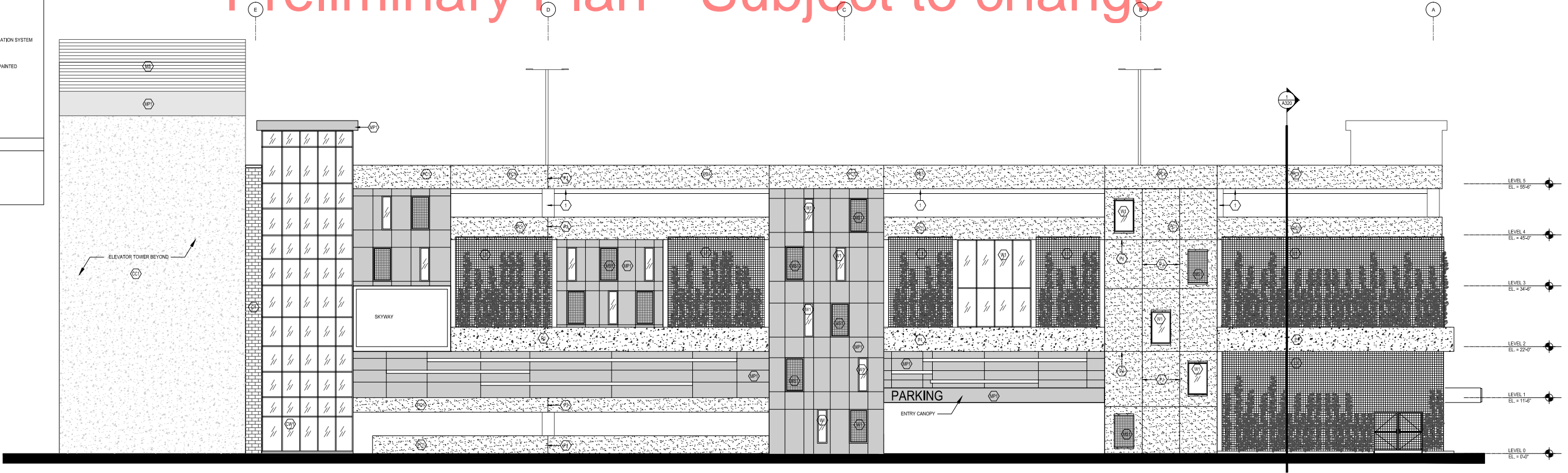
MATERIAL KEYNOTES

- AMP ALUMINUM METAL PANEL SYSTEM
- MS METAL MESH SCREEN
- CC PRECAST CONCRETE - ACID ETCH - LIMESTONE COLOR
- CV ANNOXIZED ALUMINUM CURTAIN WALL GLAZING SYSTEM
- WV ANNOXIZED ALUMINUM STORE FRONT GLAZING SYSTEM
- PI PAINTED CONCRETE PLANTERS FOR IVY GREEN SCREEN
- LI IVY PLANTS ON METAL GREEN SCREEN MESH WITH IRRIGATION SYSTEM
- CI PAINTED CONCRETE BLOCK - WHITE COLOR
- CCP CAST IN PLACE CONC. WITH CEMENTITIOUS COATING AND PAINTED
- PI PRECAST JOINT
- BL CONCRETE MASONRY UNIT JOINT
- MS ALUMINUM MECHANICAL LOUVERED SCREEN
- FI PREFINISHED METAL FLASHING

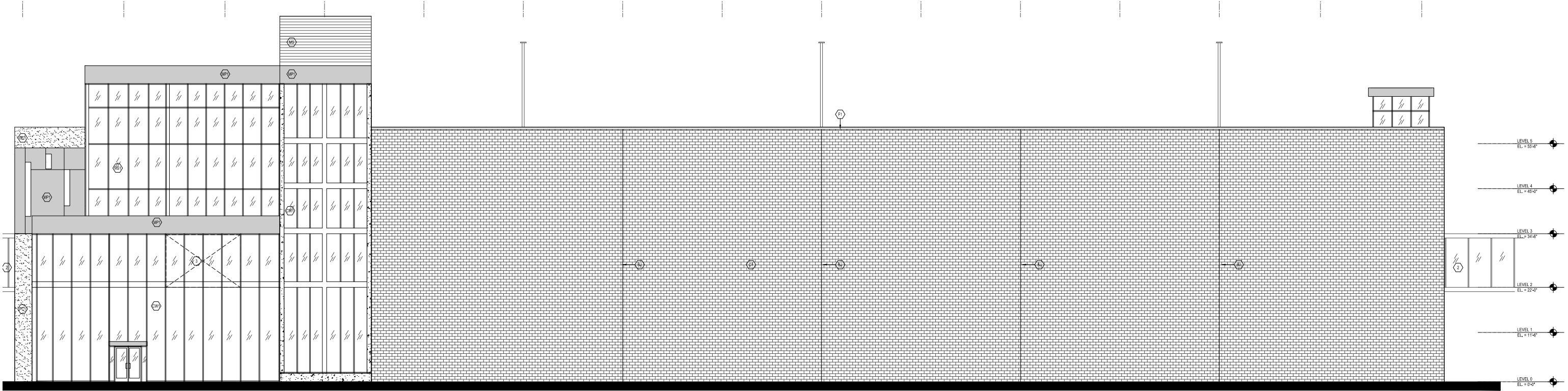
GENERAL KEYNOTES

- 1 STRUCTURE BEYOND
- 2 SKYBRIDGE OUTSIDE RAMP- NOT IN CONTRACT
- 3 POTENTIAL FUTURE SKYBRIDGE

Preliminary Plan - Subject to change



2 EAST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
A402 1/8" = 1'-0"

Preliminary Plan - Subject to change

MATERIAL KEYNOTES	
	ALUMINUM METAL PANEL SYSTEM
	METAL MESH SCREEN
	PRECAST CONCRETE - ACID ETCH - LIMESTONE COLOR
	ANNOXIDIZED ALUMINUM CURTAIN WALL GLAZING SYSTEM
	ANNOXIDIZED ALUMINUM STORE FRONT GLAZING SYSTEM
	PAINTED CONCRETE PLANTERS FOR IVY GREEN SCREEN
	IVY PLANTS ON METAL GREEN SCREEN MESH WITH IRRIGATION SYSTEM
	PAINTED CONCRETE BLOCK - WHITE COLOR
	CAST IN PLACE CONC. WITH CEMENTITIOUS COATING AND PAINTED
	PRECAST JOINT
	CONCRETE MASONRY UNIT JOINT
	ALUMINUM MECHANICAL LOUVERED SCREEN
	PREFINISHED METAL FLASHING
GENERAL KEYNOTES	
	STRUCTURE BEYOND
	SKYBRIDGE OUTSIDE RAMP- NOT IN CONTRACT
	POTENTIAL FUTURE SKYBRIDGE



2 WEST ELEVATION
A402 1/8" = 1'-0"



Preliminary Plan - Subject to change